

WTB BELLINGHAM BRANCH

for

WASHINGTON TRUST BANK

415 WEST BAKERVIEW

GENERAL NOTES

- ALL CONSTRUCTION SHALL COMPLY WITH APPLICABLE STATE & LOCAL CODES
- DIMENSIONS ARE FACE OF STUD. OR GRID LINE AT NEW CONSTRUCTION AND FACE OF EXISTING FINISH AT EXISTING CONSTRUCTION, U.O.N.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSPECT THE JOB SITE TO FAMILIARIZE HER/HIMSELF WITH ALL THE EXISTING CONDITIONS THAT COULD AFFECT THE INSTALLATION OF ANY WORK SET FORTH IN THESE PLANS.
- THE JOB SITE AT THE COMPLETION OF CONSTRUCTION SHALL BE CLEAR OF ANY DEBRIS OR SPOIL, RESULTING FROM THE CONSTRUCTION. AT NO TIME SHALL THIS MATERIAL OBSTRUCT THE NORMAL OPERATION OF THE OWNER.
- ALL TERMINATIONS OF ONE FLOOR MATERIAL TO ANOTHER SHALL HAVE TRANSITION OR REDUCER STRIPS MADE FOR FLOORING TYPE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE EXISTENCE AND LOCATION OF ANY UNDERGROUND OR CONCEALED UTILITY LINES THAT MAY BE REQUIRED OR AVOIDED DURING CONSTRUCTION.
- REFER TO CODE ANALYSIS AND CODE COMPLIANCE PLANS FOR FIRE RATED ASSEMBLIES, EXITING & EGRESS.
- ALL ROUGH OPENINGS ARE LOCATED 4" NEAREST ADJACENT WALL, U.O.N.
- ALL PENETRATIONS THROUGH FIRE RESISTIVE FLOORS OR WALLS SHALL BE PROTECTED BY MATERIALS AND INSTALLED TO CONFORM TO THE U.L. LISTING.
- U.O.N., ALL BLOCKING OR BACKING MATERIAL SHALL BE PLWD OR 2X FOR ALL WALL MOUNTED ITEMS.
- REFER TO INTERIOR SHEETS FOR ALL CASEWORK, COUNTERTOP, TRIM, FLOORING AND WALL TREATMENT DETAILS.
- THE CONTRACTOR IS ADVISED THAT DAMAGE TO ANY PORTION OF THIS PROJECT'S BUILDING AS A RESULT OF THIS PROJECT, IS TO BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL PREVAIL.
- CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED PRIOR TO ANY PHASE OF CONSTRUCTION. FEES AND ANY RELATED COSTS ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL DOOR OPENINGS SHALL HAVE 12" CLEAR ON THE PUSH SIDE & 18" CLEAR ON THE PULL SIDE.

Revisions:

NOT FOR CONSTRUCTION

RENDERING



VICINITY MAP



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SYMBOLS & GRAPHICS

	GRIDLINE	ALUMINUM
	REFERENCE/ELEVATION POINT	BATT INSULATION
	INTERIOR ELEVATIONS	BRICK CUT
	CONCRETE	CONCRETE CUT
	CMU CUT	EARTH
	E.I.F.S. IN ELEV	FINISH WOOD
	FIRE PROOFING	GLASS
	GRASS	GRAVEL
	GROUT	GYPSUM BOARD
	METAL FRAMING	PLASTIC
	PLYWOOD	RIGID INSULATION
	SAND	SPRAY INSULATION
	STEEL GRATE	WOOD BLOCKING
	WOOD FRAME	
	DOOR TAG	
	WALL TAG	
	LEVEL HEAD	
	ROOM TAG	
	REVISION TAG	

ABBREVIATIONS

A.B.	ANCHOR BOLT	FND	FOUNDATION	R	RADIUS OR RISER
A.F.F.	ABOVE FINISH FLOOR	FRMG.	FRAMING	RD	ROOF DRAIN
ABV	ABOVE	FT	FOOT OR FEET	REC	RECOMMENDED
ACOUS	ACOUSTICAL	FTG	FOOTING	REF	REFERENCE
ALUM	ALUMINUM	REINF	REINFORCE, REINFORCED	REQ	REQUIRED
ARCH	ARCHITECTURAL	GA	GAUGE	RM	ROOM
ASPH	ASPHALT	GALV	GALVANIZED		
BD	BOARD	GC	GENERAL CONTRACTOR	S	SOUTH
BLDG	BUILDING	GL	GLASS	S & V	STAIN AND VARNISH
BLKG	BLOCKING	GND	GROUND	SC	SOLD CORE
BM	BEAM	GWB	GYPSUM WALL BOARD	SCHED	SCHEDULE
BTM	BOTTOM	GYP	GYPSUM	SHT	SHEET
CAB	CABINET	HB	HOUSE BIBB	SHTG	SHEATHING
CB	CATCH BASIN	HC	HOLLOW CORE	SIM	SIMILAR
CEM	CEMENT	HDCP	HANDICAP	SOG	SLAB ON GRADE
CJ	CONTROL JOINT	HDWD	HARDWOOD	SPEC	SPECIFICATION
CLG	CEILING	HDWR	HARDWARE	SQ FT	SQUARE FOOT
CLR	CLEAR	HM	HOLLOW METAL	SS	STAINLESS STEEL
COL	COLUMN	HORZ	HORIZONTAL	STD	STANDARD
COLC	CONCRETE	HR	HOUR	STL	STEEL
CONN	CONNECTION	HT	HEIGHT	STOR	STORAGE
CONT	CONTINUOUS	IBC	INTERNATIONAL BUILDING CODE	STRUCT	STRUCTURAL
CT	CERAMIC TILE	INT	INTERIOR	SUSP	SUSPENDED
CTR	CENTER	INST	INSTALLATION	SVC	SERVICE
DBL	DOUBLE	INSUL	INSULATION	T	TEMPERED
DEPT	DEPARTMENT	INT	INTERIOR	T & G	TONGUE & GROOVE
DIA	DIAMETER	JAN	JANITOR	TC	TOP OF CURB
DN	DOWN	LAM	LAMINATE	THK	THICK
DR	DOOR	LAV	LAVATORY	TOP	TOP OF PLATE
DS	DOWNSPOUT	LAV LOC	LAVATORY LOCATION	TP	TOP OF PAVEMENT
DTL	DETAIL	TRD	THREAD	TRD	TREATED
DWG	DRAWING	TRTD	TREATED	TW	TOP OF WALL
E	EAST	TYP	TYPICAL	UNFIN	UNFINISHED
EA	EACH	UNON	UNLESS OTHERWISE NOTED		
EIFS	EXT. INSULATION FINISH SYSTEM				
EL	ELEVATION				
ELEV	ELEVATOR				
ENCL	ENCLOSURE				
EQ	EQUAL				
EQUIP	EQUIPMENT				
EXIST	EXISTING				
EXPO	EXPOSED				
EXT	EXTERIOR				
FD	FLOOR DRAIN				
FE	FIRE EXTINGUISHER				
FH	FIRE HYDRANT				
FIN	FINISH				
FLR	FLOOR				
FLSHG	FLASHING				
FLUOR	FLUORESCENT				

PROJECT INFORMATION

DESCRIPTION:
A DEVELOPMENT FOR A WASHINGTON TRUST BANK FACILITY IS BEING PROPOSED AT THE CORNER OF BAKERVIEW RD. AND CORDATA PKWY. PEDESTRIAN ACCESS, IS PROVIDED AT THE NORTH WEST PORTION OF THE SITE, AND AT THE SOUTH EAST PORTION OF THE SITE. THE PROPOSED BUILDING ENTRANCE AND ARTICULATION FOLLOWS GUIDELINES PROVIDED BY THE BMC 20.25.090, AND IS PREDOMINANT IN ITS STATURE, MATERIAL ARTICULATION, AND PLACEMENT ADDRESSING THE SITE FRONTAGE AND PEDESTRIAN ACCESS. THE BUILDING FRONTAGE ADDRESSES ADJACENT STREETS, W. BAKERVIEW RD. AND CORDATA PARKWAY, RESPECTING NECESSARY SETBACKS AND PROVIDING CLEAR WAY FINDING ACCESS IN ALIGNMENT WITH THE CODES, COMMENTS PROVIDED DURING PRE APPLICATION CONFERENCE, AND SUBSEQUENT WRITTEN COMMENTS PROVIDED BY THE CITY OF BELLINGHAM PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT. SURFACE PARKING IS KEPT PERIPHERAL TO PEDESTRIAN WALK WAYS INTENDING TO AVOID MITIGATE VEHICLE AND PEDESTRIAN ROUTE CONFLICTS. A PEDESTRIAN PLAZA IS PROVIDED ADJACENT TO THE BUILDING ENTRANCE WHERE BICYCLE ACCESS IS ENCOURAGED WITH BIKE RACKS BEING PROVIDED. PARKING IS RECESSED FROM THE AREA, WITH ONLY ADA STALLS PRESENT NEXT TO THE AREA AND CLOSE TO THE BUILDING ENTRANCE. A PRELIMINARY LANDSCAPE PLAN IS PROVIDED IN CLARIFYING COMPLIANCE WITH SCREENING AND TREE REPLACEMENT REQUIREMENTS. REFUSE AND RECYCLING STORAGE AREAS ARE PLANNED WITH THE INTENT TO ALLOW PLENTY OF SCREENING FROM ARTERIALS AND NEARBY PROPERTIES/ PUBLIC AMENITIES. AN 8 FEET WIDE SIDEWALK IS INTEGRATED TO THE SOUTHERNMOST PROPERTY ACCESS ROUTE, WITH THE INTENT TO ASSIST IN THE DEVELOPMENT OF A FUTURE TRAIL THROUGH THE AREA AS REQUESTED DURING PRE-APPLICATION CONFERENCE. THE PROPOSED DEVELOPMENT WILL HAVE LIGHTING EVENLY SCATTERED THROUGHOUT THE SITE AND ALONG THE BUILDING FACADE PROVIDING A SAFE AND WELL-LIT ENVIRONMENT. BUILDING DESIGN IS SENSITIVE TO THE CONTEXT OF ITS SURROUNDINGS WHILE REPRESENTING THE BUILDING OWNERSHIP, TASTEFULLY HIGHLIGHTING THE INTENDED USE OF THE PROPERTY, AND AESTHETICALLY ADHERING TO THE BMC 20.25.090 REQUIREMENTS BALANCING GLAZING AND SOLID WALLS WITH THE INTENT OF BECOMING A ASSET IN BUILDING AN AESTHETICALLY COHESIVE/PLEASING ENVIRONMENT.

PROJECT INFORMATION

SITE ADDRESS:
415 WEST BAKERVIEW, BELLINGHAM WA- 98226

PLANNING INFORMATION:
ZONE: COMMERCIAL
USE: COMMERCIAL
MAX. HEIGHT: 40'
MIN. SETBACKS:
FRONT: 0'
SIDES: 0'
BACK: 0'
FRONTAGE: 10'
LOT AREA: 1.39 ACRE

APPLICABLE CODES & STANDARDS:
2021 INTERNATIONAL BUILDING CODE AND APPENDIX E- CHAPTER 51-50 WAC
2021 INTERNATIONAL MECHANICAL CODE - CHAPTER 51-52 WAC
2021 NATIONAL FUEL GAS CODE (NFGA 54) - CHAPTER 51-52 WAC
2017 ICC/ANSI A117.1 ACCESSIBILITY CODE AND APPENDIX E 2020 NEC

BUILDING INFORMATION:
OCCUPANT GROUP (302): BUSINESS, GROUP B
CONSTRUCTION TYPE (601): VB
HEIGHT (504):
ALLOWABLE: 40' / 3 STORIES
ACTUAL: 26'-6" / 1 STORY



WTB BELLINGHAM BRANCH
WASHINGTON TRUST BANK
415 WEST BAKERVIEW

DESIGN REVIEW
RESUBMITTAL
MAR 14, 2024

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Project No.: 23.158
Date: MAR 14, 2024
Drawn By: FC
Checked By: RJW

Sheet No.

G0.01

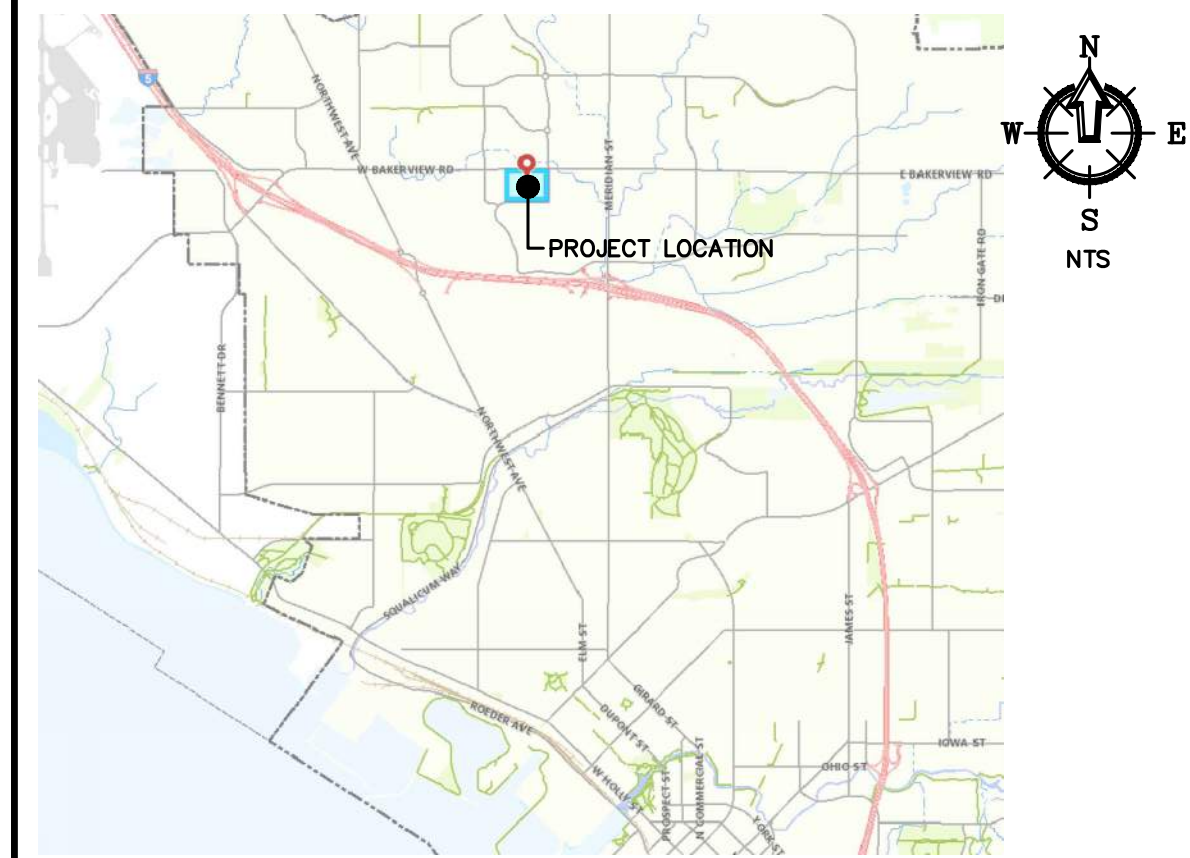
COVER SHEET
DESIGN REVIEW RESUBMITTAL

LEGEND

- = FOUND BRASS MON
- = FOUND ALUMINUM CAP MON
- = FOUND CONC MON
- = FOUND SQARE CONC MON
- = FOUND REBAR AND CAP
- = SET 1/2" REBAR W/ PLASTIC CAP
- = FOUND IRON PIPE
- = FOUND HUB AND TACK
- = FOUND PK NAIL
- = FOUND PK NAIL AND TAG/SHINER
- = FOUND RR SPIKE
- = EXISTING STORM DRAIN CATCH BASIN (TYPE 1)
- = EXISTING STORM DRAIN CATCH BASIN (TYPE 2)
- = EXISTING STORM DRAIN MANHOLE (TYPE 2) (SOLID LID)
- = EXISTING STORM DRAIN AREA DRAIN
- = EXISTING STORM DRAIN CLEANOUT
- = EXISTING STORM DRAIN SERVICE
- = EXISTING SANITARY SEWER MANHOLE
- = EXISTING SANITARY SEWER CLEANOUT
- = EXISTING SANITARY SEWER SERVICE
- = EXISTING WATER SERVICE CONNECT
- = EXISTING FIRE STAND PIPE
- = EXISTING WATER BLOW-OFF VALVE
- = EXISTING WATER METER BOX
- = EXISTING FIRE HYDRANT
- = EXISTING WATER VALVE
- = EXISTING WATER VALVE BOXES
- = EXISTING SIGN
- = EXISTING FLAG POLE
- = EXISTING LANDSCAPING
- = EXISTING GAS METER
- = EXISTING OVERHEAD ELECTRIC LINES
- = EXISTING FIBER OPTIC LINE
- = EXISTING UNDERGROUND POWER
- = EXISTING OVERHEAD PHONE
- = EXISTING UNDERGROUND PHONE
- = EXISTING OVERHEAD UTILITIES (UNKNOWN)
- = EXISTING UNDERGROUND TV CABLE
- = EXISTING GAS MAIN
- = EXISTING WATER LINE
- = EXISTING SANITARY SEWER LINE
- = EXISTING STORM DRAIN LINE
- = EXISTING STONE WALL
- = EXISTING TOP OF BANK
- = EXISTING TOE OF BANK
- = PROPOSED TOP OF BANK
- = PROPOSED TOE OF BANK
- = EXISTING CONTOUR (INDEX)
- = EXISTING CONTOUR (NORMAL)

- SHEET INDEX**
- DR1 COVER SHEET AND EXISTING CONDITIONS
 - DR2 SITE PLAN
 - DR3 TREE REMOVAL PLAN
 - DR4 LANDSCAPE PLAN

VICINITY MAP

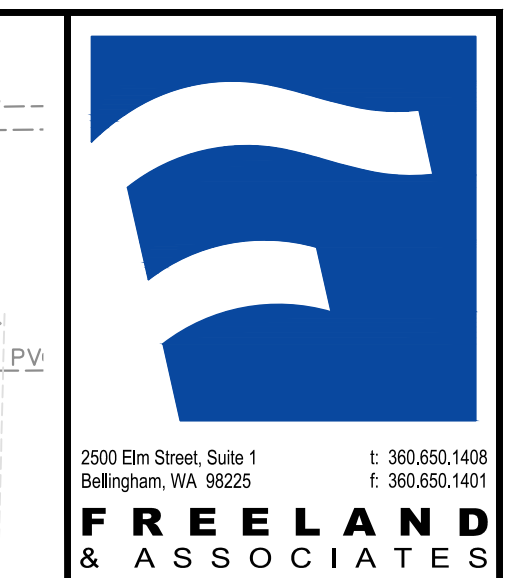
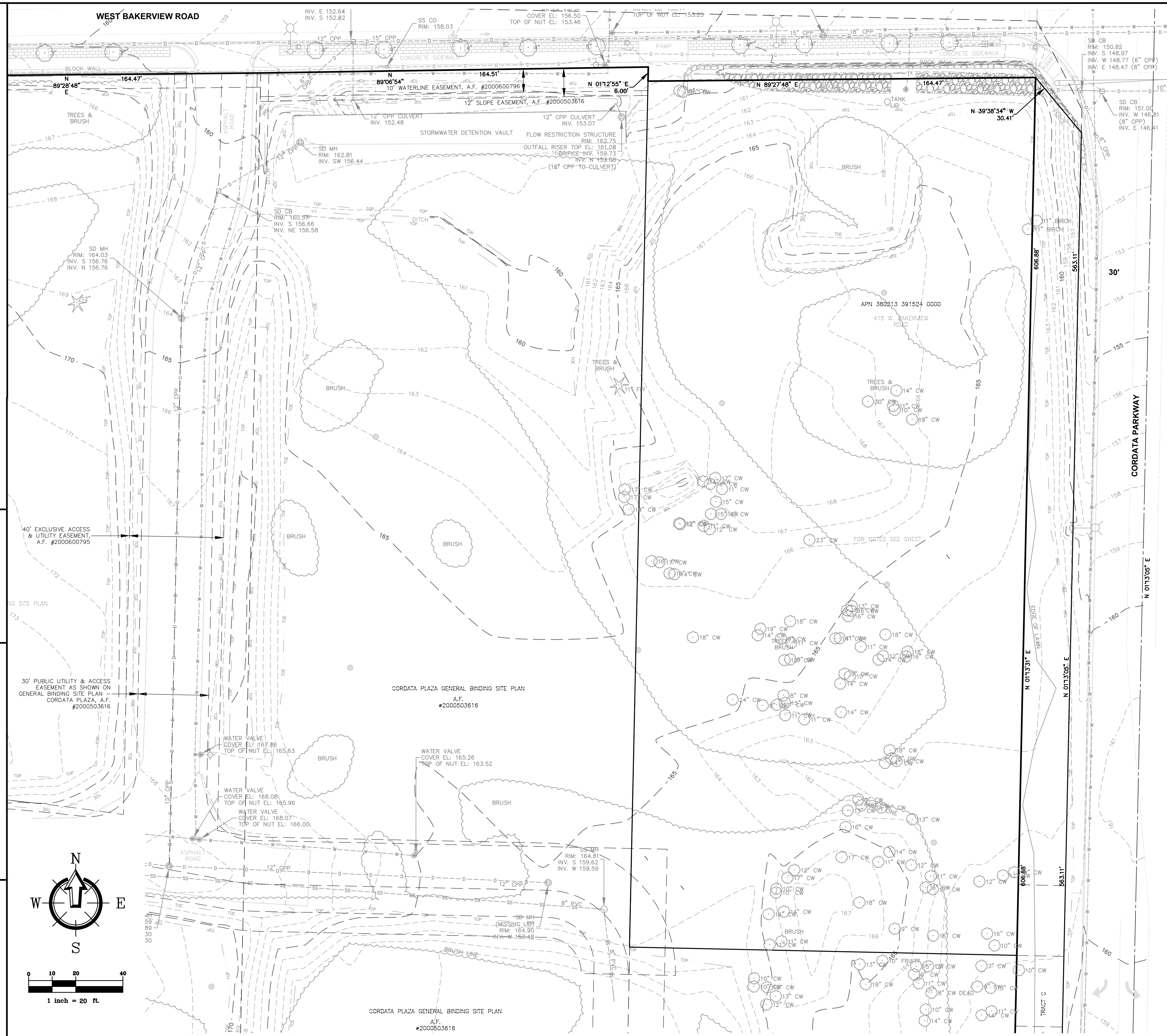


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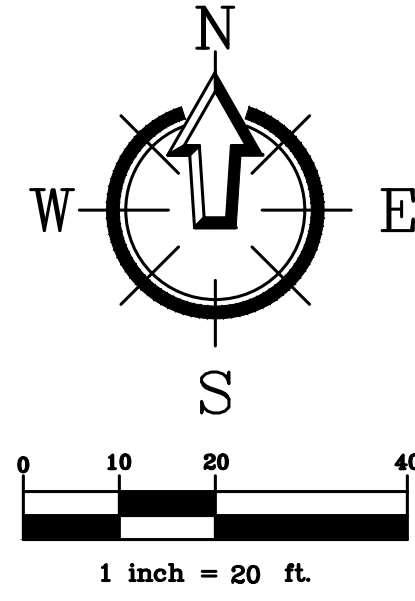
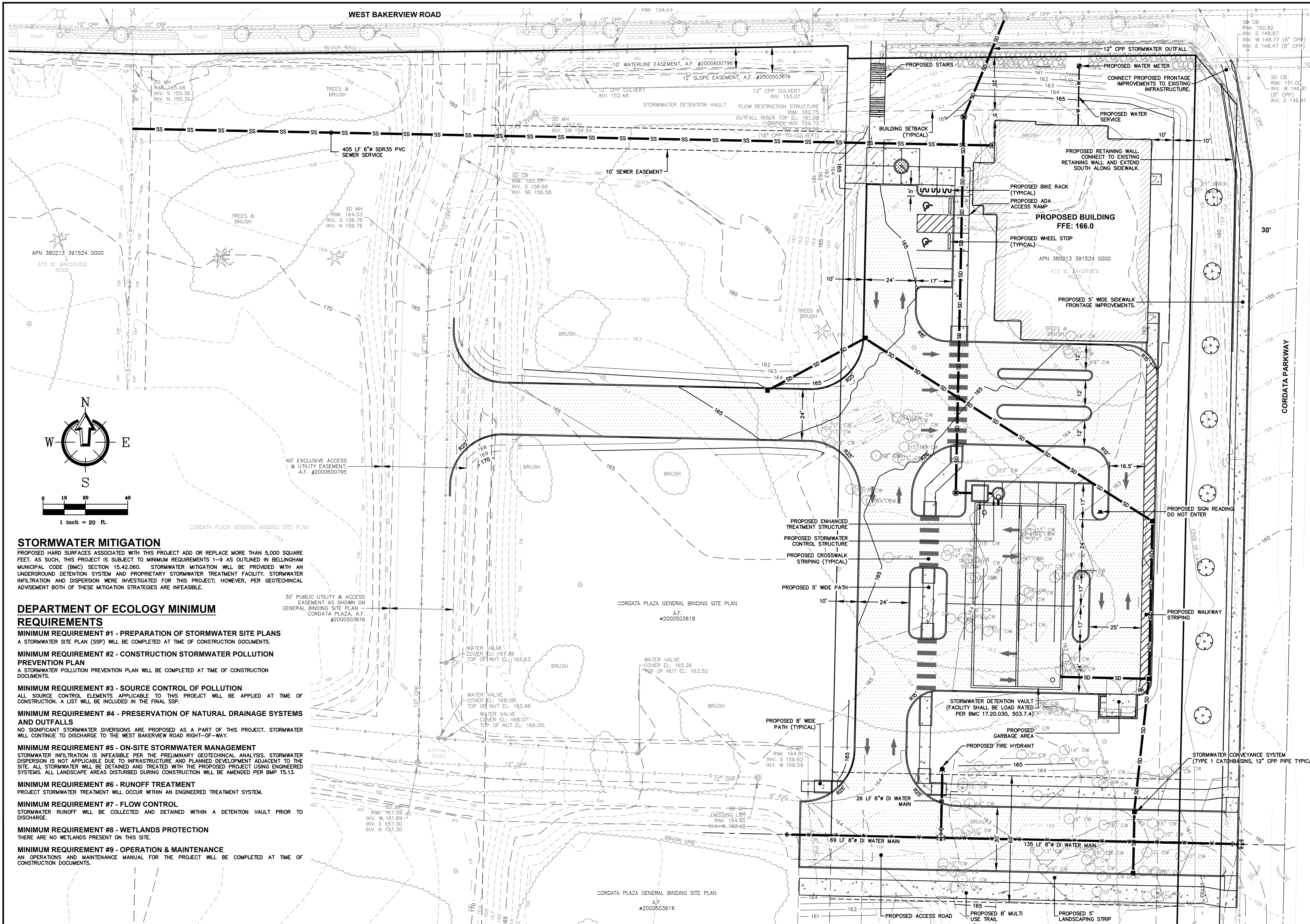
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BY:		DESCRIPTION:	
REV:		DATE:	
CLIENT:	WAG ARCHITECTURE 1015 N. CAUSPEL, SUITE B SPOKANE, WA 99201 CALL BEFORE YOU DIG FOR BURIED UTILITY LOCATIONS 1-800-424-5655		
PROJECT LOCATION:	WTB BELLINGHAM 415 WEST BAKERVIEW BELLINGHAM, WASHINGTON 98226 DRAWN BY: TTT CHECKED BY: JPS		
SHEET CONTENTS:	COVER SHEET AND EXISTING CONDITIONS		
JOB #:	24248	DATE:	3-10-2025
SHEET:	DR1		



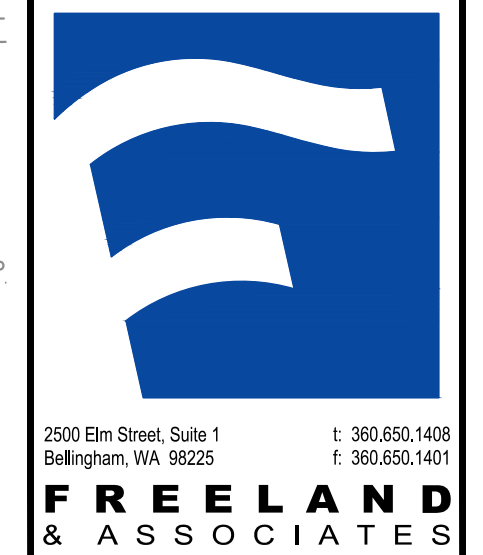


STORMWATER MITIGATION

PROPOSED HARD SURFACES ASSOCIATED WITH THIS PROJECT ADD OR REPLACE MORE THAN 5,000 SQUARE FEET. AS SUCH, THIS PROJECT IS SUBJECT TO MINIMUM REQUIREMENTS 1-9 AS OUTLINED IN BELLINGHAM MUNICIPAL CODE (BMC) SECTION 15.42.060. STORMWATER MITIGATION WILL BE PROVIDED WITH AN UNDERGROUND DETENTION SYSTEM AND PROPRIETARY STORMWATER TREATMENT FACILITY. STORMWATER INFILTRATION AND DISPERSION WERE INVESTIGATED FOR THIS PROJECT; HOWEVER, PER GEOTECHNICAL ADVICE BOTH OF THESE MITIGATION STRATEGIES ARE INFEASIBLE.

DEPARTMENT OF ECOLOGY MINIMUM REQUIREMENTS

- MINIMUM REQUIREMENT #1 - PREPARATION OF STORMWATER SITE PLANS**
A STORMWATER SITE PLAN (SSP) WILL BE COMPLETED AT TIME OF CONSTRUCTION DOCUMENTS.
- MINIMUM REQUIREMENT #2 - CONSTRUCTION STORMWATER POLLUTION PREVENTION PLAN**
A STORMWATER POLLUTION PREVENTION PLAN WILL BE COMPLETED AT TIME OF CONSTRUCTION DOCUMENTS.
- MINIMUM REQUIREMENT #3 - SOURCE CONTROL OF POLLUTION**
ALL SOURCE CONTROL ELEMENTS APPLICABLE TO THIS PROJECT WILL BE APPLIED AT TIME OF CONSTRUCTION. A LIST WILL BE INCLUDED IN THE FINAL SSP.
- MINIMUM REQUIREMENT #4 - PRESERVATION OF NATURAL DRAINAGE SYSTEMS AND OUTFALLS**
NO SIGNIFICANT STORMWATER DIVERSIONS ARE PROPOSED AS A PART OF THIS PROJECT. STORMWATER WILL CONTINUE TO DISCHARGE TO THE WEST BAKERVIEW ROAD RIGHT-OF-WAY.
- MINIMUM REQUIREMENT #5 - ON-SITE STORMWATER MANAGEMENT**
STORMWATER INFILTRATION IS INFEASIBLE PER THE PRELIMINARY GEOTECHNICAL ANALYSIS. STORMWATER DISPERSION IS NOT APPLICABLE DUE TO INFRASTRUCTURE AND PLANNED DEVELOPMENT ADJACENT TO THE SITE. ALL STORMWATER WILL BE DETAINED AND TREATED WITH THE PROPOSED PROJECT USING ENGINEERED SYSTEMS. ALL LANDSCAPE AREAS DISTURBED DURING CONSTRUCTION WILL BE AMENDED PER BMP 15.13.
- MINIMUM REQUIREMENT #6 - RUNOFF TREATMENT**
PROJECT STORMWATER TREATMENT WILL OCCUR WITHIN AN ENGINEERED TREATMENT SYSTEM.
- MINIMUM REQUIREMENT #7 - FLOW CONTROL**
STORMWATER RUNOFF WILL BE COLLECTED AND DETAINED WITHIN A DETENTION VAULT PRIOR TO DISCHARGE.
- MINIMUM REQUIREMENT #8 - WETLANDS PROTECTION**
THERE ARE NO WETLANDS PRESENT ON THIS SITE.
- MINIMUM REQUIREMENT #9 - OPERATION & MAINTENANCE**
AN OPERATIONS AND MAINTENANCE MANUAL FOR THE PROJECT WILL BE COMPLETED AT TIME OF CONSTRUCTION DOCUMENTS.



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Bellingham, WA 98225
t: 360.650.1408
f: 360.650.1401

FREELAND & ASSOCIATES

REV.	DATE	DESCRIPTION

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WAG ARCHITECTURE
1015 N. CAUSPHEL, SUITE B
SPOKANE, WA 99201

**CALL BEFORE YOU DIG
FOR BURIED UTILITY LOCATIONS**
1-800-424-5655

PROJECT LOCATION:
WTB BELLINGHAM
415 WEST BAKERVIEW
BELLINGHAM, WASHINGTON 98226

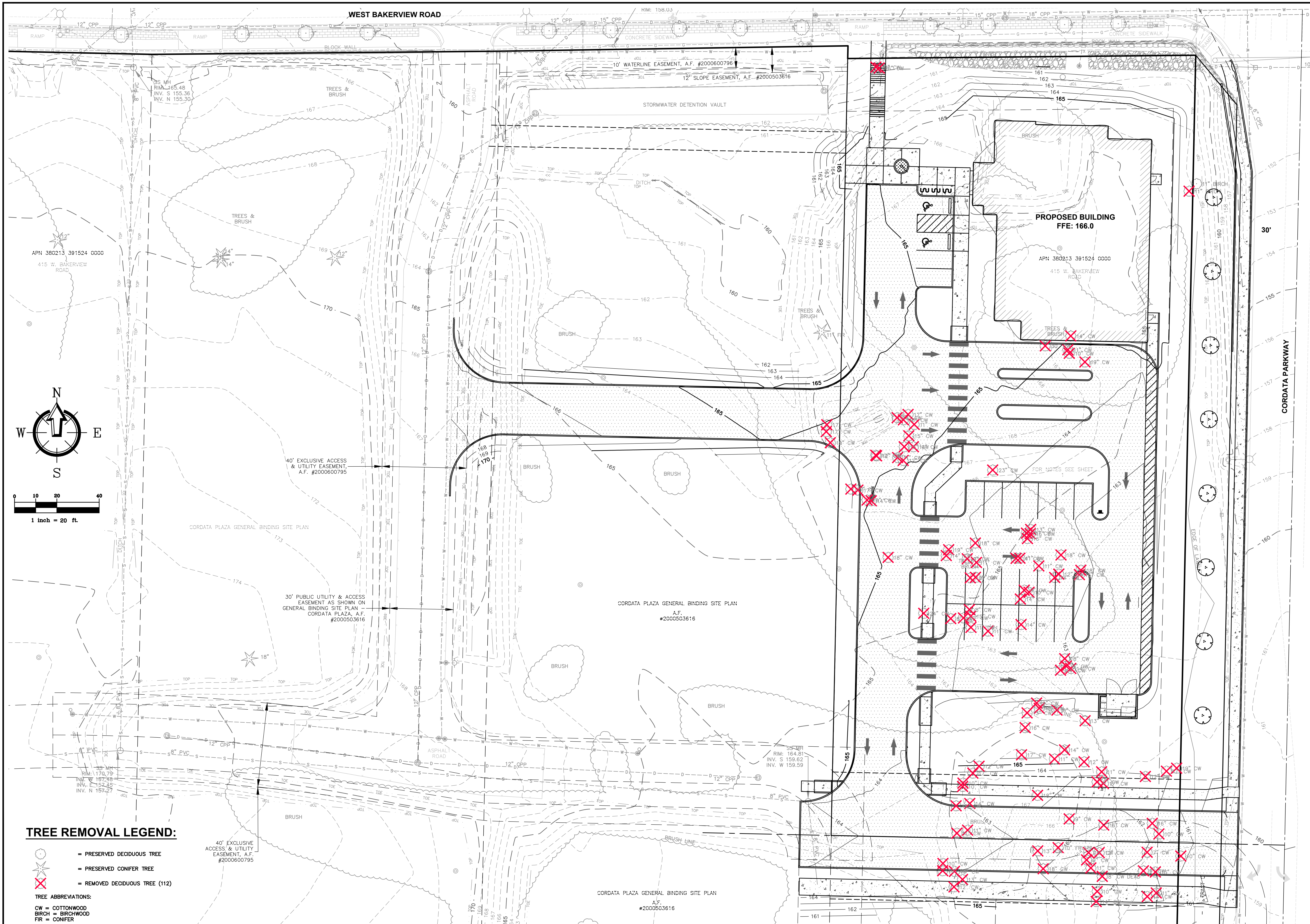
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SHEET CONTENTS:
SITE PLAN



JOB #: 24248
DATE: 3-10-2025

SHEET: DR2



TREE REMOVAL LEGEND:

- = PRESERVED DECIDUOUS TREE
- = PRESERVED CONIFER TREE
- = REMOVED DECIDUOUS TREE (112)

TREE ABBREVIATIONS:
 CW = COTTONWOOD
 BIRCH = BIRCHWOOD
 FIR = CONIFER

40' EXCLUSIVE ACCESS & UTILITY EASEMENT, A.F. #2000600795

30' PUBLIC UTILITY & ACCESS EASEMENT AS SHOWN ON GENERAL BINDING SITE PLAN, CORDATA PLAZA, A.F. #2000503616

CORDATA PLAZA GENERAL BINDING SITE PLAN, A.F. #2000503616

CORDATA PLAZA GENERAL BINDING SITE PLAN, A.F. #2000503616



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FREELAND & ASSOCIATES

REV.	DATE	DESCRIPTION

CLIENT:
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 SPOKANE, WA 99201
CALL BEFORE YOU DIG
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 1-800-424-5655

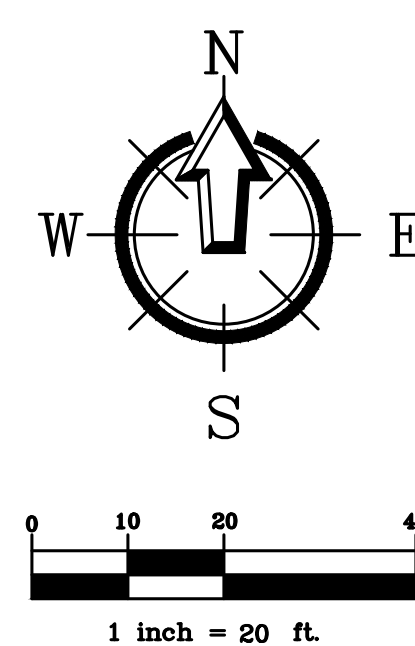
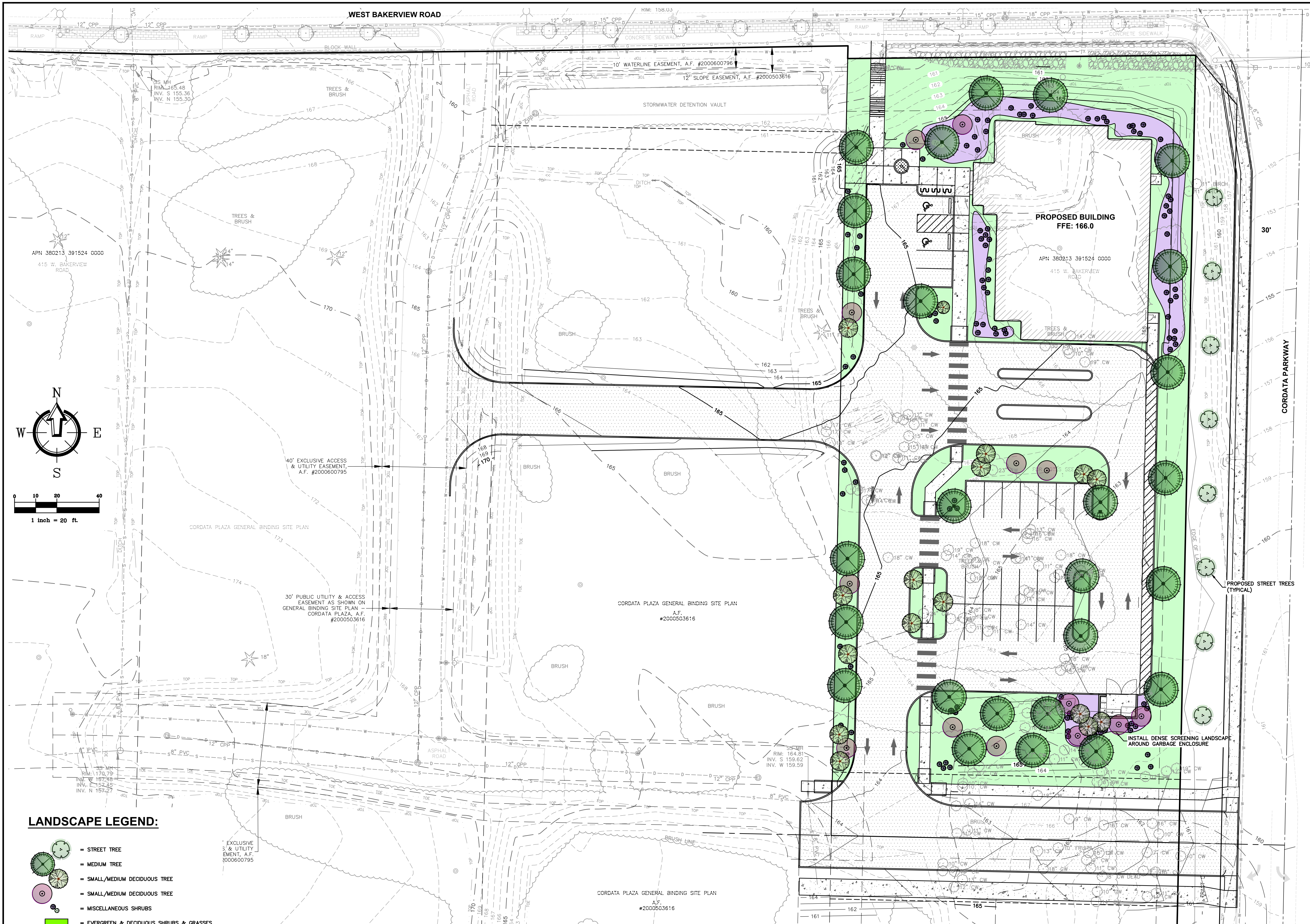
PROJECT LOCATION:
WTB BELLINGHAM
 415 WEST BAKERVIEW
 BELLINGHAM, WASHINGTON 98226
DRAWING #: 24248SP3.DWG
DESIGNED BY: JPS
DRAWN BY: TTT
CHECKED BY: JPS

SHEET CONTENTS:
TREE REMOVAL PLAN



JOB #: 24248
DATE: 3-10-2025
SHEET:

DR3



LANDSCAPE LEGEND:

-  = STREET TREE
-  = MEDIUM TREE
-  = SMALL/MEDIUM DECIDUOUS TREE
-  = SMALL/MEDIUM DECIDUOUS TREE
-  = MISCELLANEOUS SHRUBS
-  = EVERGREEN & DECIDUOUS SHRUBS & GRASSES



2500 Elm Street, Suite 1
 Bellingham, WA 98225
FREELAND & ASSOCIATES
 T: 360.650.1498
 F: 360.650.1401

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CLIENT:
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SHEET CONTENTS:
LANDSCAPING PLAN

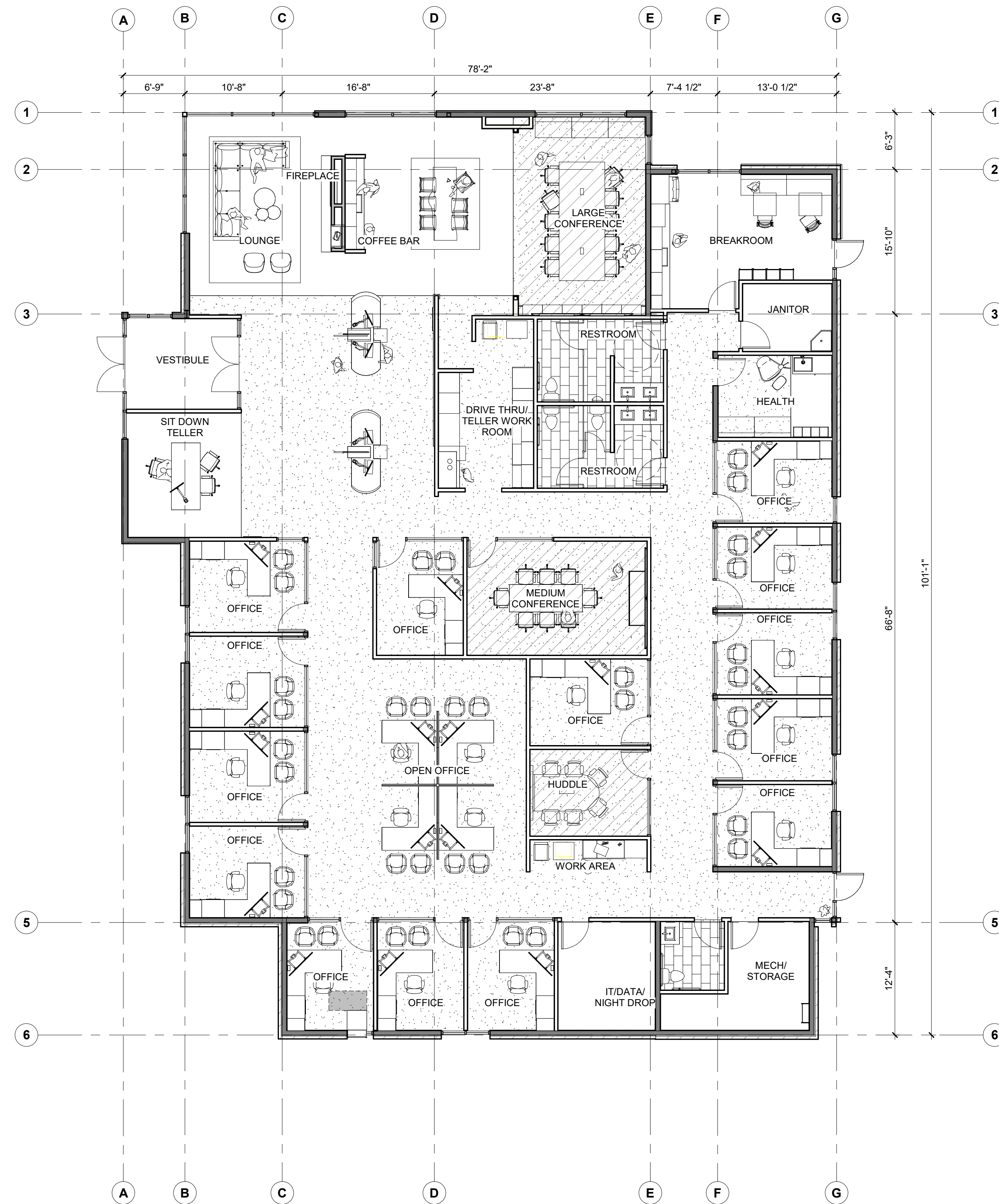


JOB #: 24248
DATE: 3-10-2025
SHEET: DR4

APPLICABLE CODES AND STANDARDS	
2021 INTERNATIONAL BUILDING CODE AND APPENDIX E- CHAPTER 51-50 WAC 2021 INTERNATIONAL MECHANICAL CODE - CHAPTER 51-52 WAC 2021 NATIONAL FUEL GAS CODE (NFPA 54) - CHAPTER 51-52 WAC 2017 ICC/ANSI A117.1 ACCESSIBILITY CODE AND APPENDIX E 2020 NEC	
OCCUPANCY CLASSIFICATION(S):	IBC 302 BUSINESS, GROUP B A-3 (ASSEMBLY) B (BUSINESS)
CONSTRUCTION CLASSIFICATION:	IBC 602 V-B CONSTRUCTION
BUILDING AREA:	
BUILDING TOTAL:	3,357 SF
SETBACKS:	B-1 (ZONING CODE)
FRONT:	10' MIN.
SIDE:	0' MIN.
REAR:	0' MIN.
PARKING AND LOADING:	
SEE SITE PLAN SUBMITTAL FOR PARKING CALCULATIONS	
MAXIMUM HEIGHT:	IBC T504.3
MAX ALLOWED HEIGHT:	40 FEET
ACTUAL HEIGHT:	26'-6" FEET
SPRINKLERED:	
NO	
FIRE RESISTANCE RATING REQ'S FOR BUILDING ELEMENTS:	IBC T601
TYPE V-B CONSTRUCTION	
PRIMARY STRUCTURAL FRAME:	0 HRS
BEARING WALLS	0 HRS
EXTERIOR:	0 HRS
INTERIOR:	0 HRS
NONBEARING WALLS & PARTITIONS (EXTERIOR):	0 HRS
NONBEARING WALLS & PARTITIONS (INTERIOR):	0 HRS
FLOOR CONSTRUCTION AND ASSOC. SECONDARY MEMBERS:	0 HRS
ROOF CONSTRUCTION AND ASSOC. SECONDARY MEMBERS:	0 HRS
PORTABLE FIRE EXTINGUISHERS:	PROVIDED PER IBC 906
AS REQUIRED BY IFC	
EXIT SIGNS:	PROVIDED PER IBC 1011
PROVIDE AT ALL EXITS (1011.1)	
ACCESSIBLE MEANS OF EGRESS:	PROVIDED PER IBC 1007
SIGNAGE SHALL COMPLY WITH ICC A117.1 REQUIREMENTS FOR VISUAL CHARACTERS AND INCLUDE THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY	
*ALL ACCESSIBLE ROUTES, GENERAL SITE AND APPLICABLE BUILDING ELEMENTS, PLUMBING/ELECTRICAL FIXTURES, AND COMMUNICATIONS TO BE INSTALLED PER 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN	
DOORS, GATES, TURNSTILES:	IBC 1008
MEANS OF EGRESS DOORS COMPLY WITH SECTION 1020.2	
LANDINGS SHALL HAVE A WIDTH NOT LESS THAN THE WIDTH OF THE STAIRWAY OR THE DOOR, WHICHEVER IS GREATER (1008.1.6)	
HARDWARE SHALL BE ACCESSIBLE, AS REQUIRED (1008.1.9.1)	

OCCUPANT LOAD PER 2021 IBC TABLE 1004.5			
FUNCTION	OCCUPANT LOAD FACTOR	SQUARE FT	OCCUPANT LOAD
BUSINESS AREA	1:150 GROSS	6,115 SF	41 OCCUPANTS
ASSEMBLY (UNCONCENTRATED)	1:15 NET	670 SF	45 OCCUPANTS
STORAGE / MECH	1:300 GROSS	215 SF	1 OCCUPANTS
TOTAL:		7,000 SF	87 OCCUPANTS

PLUMBING LOAD PER 2021 IBC TABLE 2902.1				
CLASSIFICATION	WATER CLOSETS MEN/WOMEN	LAVATORIES MEN/WOMEN	DRINKING FOUNTAIN	SERVICE SINK
BUSINESS	1:25 FOR FIRST 50, 1:50 FOR ADDITIONAL OVER 50	1:40 FOR FIRST 80, 1:80 FOR ADDITIONAL OVER 80	1:100	1:25 FOR FIRST 50, 1:50 FOR ADDITIONAL OVER 50
TOTAL REQUIRED:	2 MEN / 2 WOMEN	2 MEN / 2 WOMEN	1 DRINKING FOUNTAIN	2 SERVICE SINK



1 Level 1
A1.01 SCALE: 1/8" = 1'-0"

Revisions:

NOT FOR CONSTRUCTION

FIRST FLOOR PLAN- D.R. SUBMITTAL

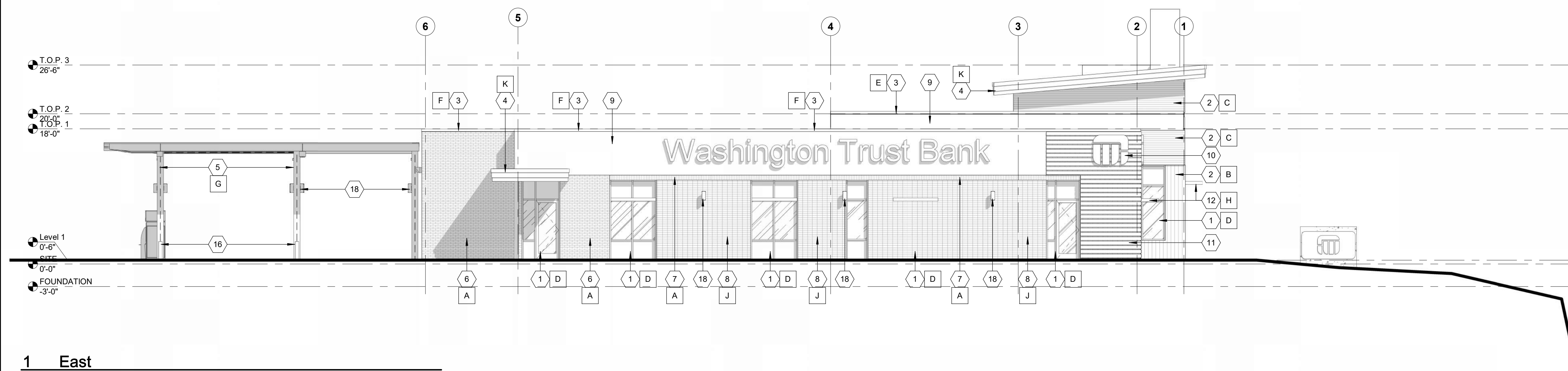
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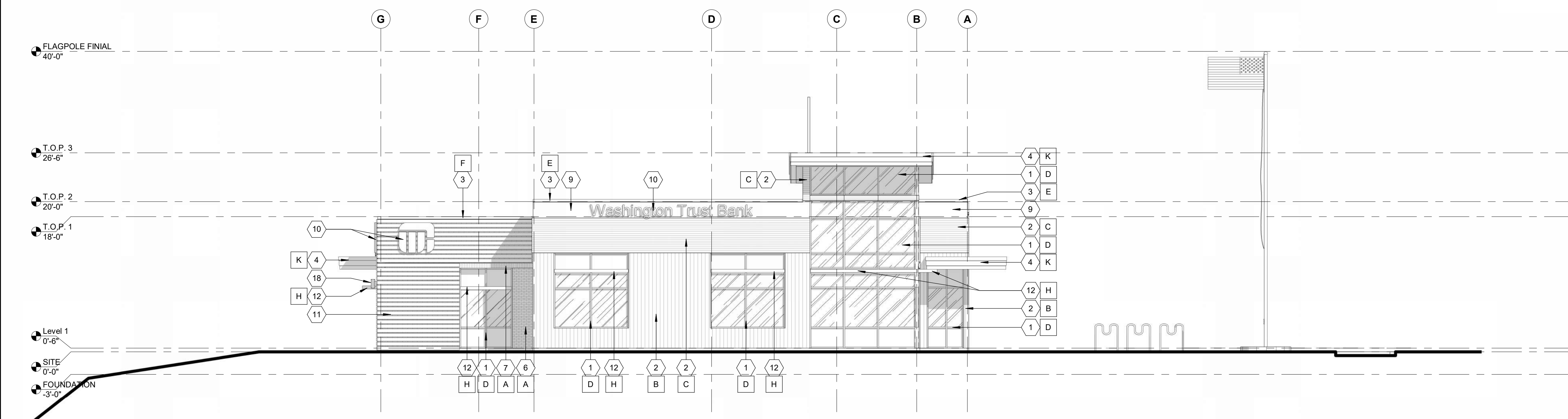
Project No.: 23.158
Date: MAR 14, 2024
Drawn By: FC
Checked By: RJW

Sheet No.

A1.01



1 East
A4.01 SCALE: 1/8" = 1'-0"



2 North
A4.01 SCALE: 1/8" = 1'-0"

- KEYNOTES**
- 1 ALUMINUM STOREFRONT
 - 2 PREFINISHED METAL PANEL
 - 3 PREFINISHED METAL WALL CAP
 - 4 PREFINISHED METAL FASCIA
 - 5 STRUCTURAL STEEL - SEE STRUCTURAL
 - 6 MASONRY VENEER - RUNNING BOND
 - 7 MASONRY VENEER - SOLDIER
 - 8 MASONRY VENEER - STACKED BOND
 - 9 METAL WALL PANEL - BY TUBE ART. COORDINATE WITH TUBE ART FOR CONNECTIONS
 - 10 SIGNAGE - BY TUBE ART. COORDINATE WITH TUBE ART FOR CONNECTIONS
 - 11 PREFINISHED ALUMINUM LOUVER SYSTEM/ SIGNAGE - BY TUBE ART. COORDINATE WITH TUBE ART FOR CONNECTIONS
 - 12 ALUMINUM OUTRIGGER TYPE SUNSHADE
 - 13 PREFINISHED STANDING SEAM METAL ROOFING
 - 14 NIGHT DEPOSITORY BOX - BY OTHERS. COORDINATE W/ VENDOR ON OPENING SIZE
 - 15 BANK EQUIPMENT - BY OTHERS. CONTRACTOR TO PROVIDE POWER & COORDINATE W/ VENDOR
 - 16 PIPE BOLLARD, TYP.
 - 17 OVERFLOW DRAIN OUTLET - 13'-4" TO CENTERLINE AFF - SEE ROOF PLAN
 - 18 WALL MOUNTED SCONCE, TYP. - SEE ELECTRICAL
 - 19 LANE SIGNAGE - BY TUBE ART. CONTRACTOR TO PROVIDE POWER - SEE ELEC. DWG
 - 20 STEEL HANDRAIL - SEE A0.4
 - 21 CONCRETE RETAINING WALL - SEE A0.4
 - 22 18" PREFINISHED METAL BUILDING NUMBERS
 - 23 PREFINISHED METAL TRIM, TYP. - COLOR TO MATCH PREFINISHED METAL PANEL

- FINISH NOTES**
- A 3 1/2"x2 1/2"x7 1/2" MASONRY VENEER - MUTUAL MATERIALS 'RAVEN' - MISSION
 - B VERTICAL - PREFINISHED METAL PANEL - METAL SALES 'MISTIQUE PLUS'
 - C HORIZONTAL - PREFINISHED METAL PANEL - METAL SALES 'CHAMPAGNE METALLIC'
 - D CLEAR ANODIZED ALUMINUM
 - E POWDER COAT TO MATCH SIGNAGE - COORDINATE W/ TUBE ART
 - F PREFINISHED METAL WALL CAP - METAL SALES 'MATTE BLACK'
 - G PAINT - SW6258 'TRICORN BLACK'
 - H ANODIZED ALUMINUM - KAWNEER - VERSOLEIL SUNSHADE OUTRIGGER SYSTEM
 - J 3 1/2"x2 1/2"x7 1/2" MASONRY VENEER - MUTUAL MATERIALS 'RAVEN' - SMOOTH
 - K PREFINISHED METAL - METAL SALES 'MYSTIQUE PLUS'

Revisions:

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EXTERIOR ELEVATIONS & FINISHES - D.R. SUBMITTAL



CONTEXTUAL STREET ELEVATION- NORTH



CONTEXTUAL STREET ELEVATION- EAST

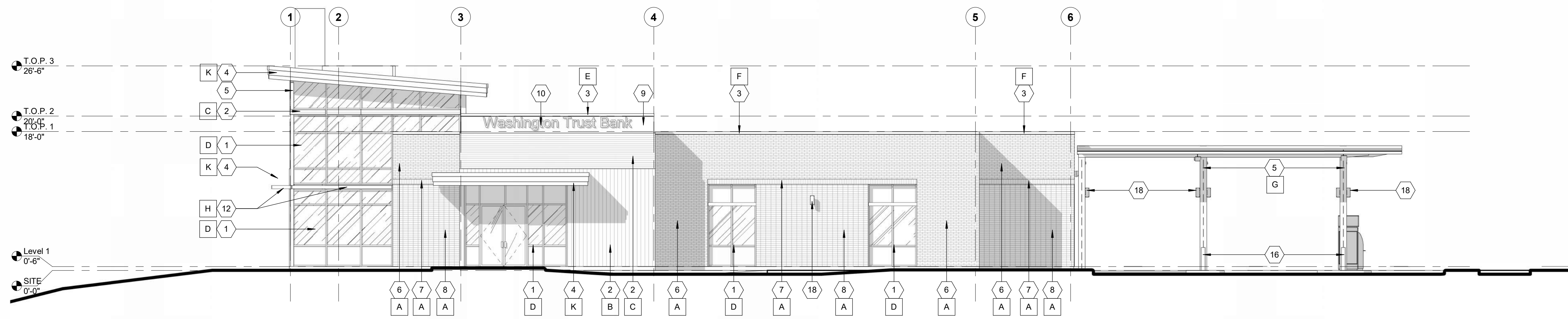
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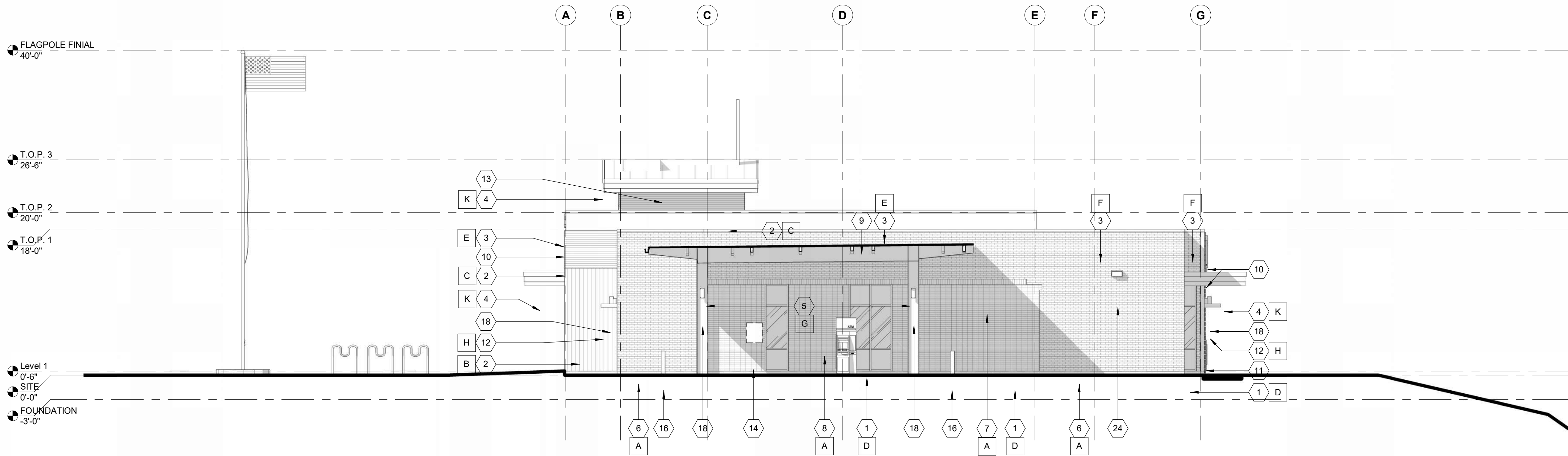
Sheet No.

A4.01



2 West

A4.02 SCALE: 1/8" = 1'-0"



1 South

A4.02 SCALE: 1/8" = 1'-0"

REF: G0.02



CONTEXTUAL STREET ELEVATION- WEST



CONTEXTUAL STREET ELEVATION- SOUTH

GENERAL NOTES

1

KEYNOTES

- 1 ALUMINUM STOREFRONT
- 2 PREFINISHED METAL PANEL
- 3 PREFINISHED METAL WALL CAP
- 4 PREFINISHED METAL FASCIA
- 5 STRUCTURAL STEEL - SEE STRUCTURAL
- 6 MASONRY VENEER - RUNNING BOND
- 7 MASONRY VENEER - SOLDIER
- 8 MASONRY VENEER - STACKED BOND
- 9 METAL WALL PANEL - BY TUBE ART. COORDINATE WITH TUBE ART FOR CONNECTIONS
- 10 SIGNAGE - BY TUBE ART. COORDINATE WITH TUBE ART FOR CONNECTIONS
- 11 PREFINISHED ALUMINUM LOUVER SYSTEM/ SIGNAGE - BY TUBE ART. COORDINATE WITH TUBE ART FOR CONNECTIONS
- 12 ALUMINUM OUTRIGGER TYPE SUNSHADE
- 13 PREFINISHED STANDING SEAM METAL ROOFING
- 14 NIGHT DEPOSITORY BOX - BY OTHERS. COORDINATE W/ VENDOR ON OPENING SIZE
- 15 BANK EQUIPMENT - BY OTHERS. CONTRACTOR TO PROVIDE POWER & COORDINATE W/ VENDOR
- 16 PIPE BOLLARD, TYP. - SEE A0.3
- 17 OVERFLOW DRAIN OUTLET - 13'-4" TO CENTERLINE AFF - SEE ROOF PLAN
- 18 WALL MOUNTED SCONCE, TYP. - SEE ELECTRICAL
- 19 LANE SIGNAGE - BY TUBE ART. CONTRACTOR TO PROVIDE POWER - SEE ELEC. DWG
- 20 STEEL HANDRAIL - SEE A0.4
- 21 CONCRETE RETAINING WALL - SEE A0.4
- 22 18" PREFINISHED METAL BUILDING NUMBERS
- 23 PREFINISHED METAL TRIM, TYP. - COLOR TO MATCH PREFINISHED METAL PANEL
- 24 WALL PACK

FINISH NOTES

- A 3 1/2"x2 1/2"x7 1/2" MASONRY VENEER - MUTUAL MATERIALS 'RAVEN' - MISSION
- B VERTICAL - PREFINISHED METAL PANEL - METAL SALES 'MISTIQUE PLUS'
- C HORIZONTAL - PREFINISHED METAL PANEL - METAL SALES 'CHAMPAGNE METALLIC'
- D CLEAR ANODIZED ALUMINUM
- E POWDER COAT TO MATCH SIGNAGE - COORDINATE W/ TUBE ART
- F PREFINISHED METAL WALL CAP - METAL SALES 'MATTE BLACK'
- G PAINT - SW6258 'TRICORN BLACK'
- H ANODIZED ALUMINUM - KAWNEER - VERSOLEIL SUNSHADE OUTRIGGER SYSTEM
- J 3 1/2"x2 1/2"x7 1/2" MASONRY VENEER - MUTUAL MATERIALS 'RAVEN' - SMOOTH
- K PREFINISHED METAL - METAL SALES 'MYSTIQUE PLUS'

Revisions:

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EXTERIOR ELEVATIONS & FINISHES- D.R. SUBMITTAL

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A4.02



Revisions:

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3D REPRESENTATIONS- D.R. SUBMITTAL

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A9.11